

11.101 General Provisions

11.101.1 Conflicting Provisions

- A. In case of conflict between this ordinance or any part hereof, the City, and any other provision of this Code, the provision that establishes the higher standard shall prevail. (Code 1997, tit. 5, ch. 1, § 2; Ord. No. 2008-59, § 2, 9-22-2008)
- B. The provisions of this sign ordinance control signage in the City. Any other provisions of the City zoning ordinance which purport to control signage are subordinate to the provisions of this ordinance, unless specifically stated otherwise in this ordinance. (Code 1997, tit. 5, ch. 1, § 3; Ord. No. 2008-59, § 3, 9-22-2008)

11.101.2 Placement

- A. Signs shall be placed according to the applicable sign type requirements.
- B. Signs shall not be placed within the public right-of-way, except:
1. Those placed by or on behalf of a governmental entity;
- C. All other signs placed in the right-of-way shall be forfeited by the public and shall be immediately confiscated and disposed of by the City.
- D. Signs shall not interfere or block the site of directional, instructional, or warning signs placed by or on behalf of a governmental entity.
- E. Signs, along with their supports, braces or anchors shall be placed or constructed so as not to obstruct or interfere with any door, window, fire escape or other means of egress light, or ventilation. Signs shall be located so that they do not obscure the view of pedestrian or vehicular traffic that would endanger safe movement. Signs shall not be placed to obscure prominent architectural features on a building.
- F. All freestanding signs must remain upright and intact. Any damaged signs must be removed immediately. See subsection 11.117, 11.118 and 11.119, for provisions related to Temporary sign type and placement.

11.101.3 Proportion and Shape

Signs shall not be irregularly shaped, nor shall they only contain a motif or symbol only.

11.101.4 Materials

- A. Building materials for sign backgrounds, frames, supports, and ornamentation shall:
1. Be durable and low maintenance;
 2. Be of the same or higher quality materials as the principal building; and
 3. Have compatible design for all parts of the sign.
 4. See specifications listed by sign type.
- B. The following materials are **prohibited** for sign backgrounds, frames, supports, and ornamentation:
1. Exposed metal poles; and
 2. Smoother or split faced concrete blocks, whether painted or unpainted.
 3. Non-treated wood posts, poles and products.

11.101.5 External Illumination

- A. External illumination of signs shall:
1. Be achieved by a white, steady, stationary light of reasonable intensity;
 2. Be aimed and shielded so that direct illumination is focused exclusively on the sign area; and
 3. Be shielded from adjacent buildings, streets, and internal drives and shall not be so bright as to cause glare on or other nuisances to adjacent properties.
- B. The sign or light source shall not produce glare or illumination that could distract or interfere with the vision of drivers, cyclists, pedestrians, or adjacent property owners. Illumination shall be shielded in such a manner that no direct glare can be seen from any angle.
- C. Any electrical lights or fixtures shall be installed in accordance with Article 600 of the National Electrical Code.

11.101.6 Internal Illumination

- A. Internal illumination of signs shall be limited to light emanating only through the letters, number, logos, and accent lines. The remainder of the sign shall not be illuminated and shall be opaque to prohibit light penetration. The lighting source shall not flash, move, be overly bright, or create a nuisance.
- B. The sign or light source shall not produce glare or illumination that could distract or interfere with the vision of drivers, cyclists, pedestrians, or adjacent property owners. Illumination shall be shielded in such a manner that no direct glare can be seen from any angle.
- C. Exposed neon and LED that is visible are prohibited and shall not be incorporated into the design of a principal building or accessory structure.
- D. Any electrical lights or fixtures shall be installed in accordance with Article 600 of the National Electrical Code.

11.101.7 Maintenance

- A. Signs and the premises surrounding them shall be maintained in a clean, sanitary, and inoffensive condition, free and clear of obnoxious substances, rubbish, and weeds.
- B. Signs together with their supports, braces, and anchors, shall be maintained in good and safe condition, including the periodic application of paint or other weatherproofing materials to prevent rust or other decay. Signs shall not be allowed to deteriorate to a broken, torn, peeling, flaking, or otherwise decayed condition.
- C. Temporary signs shall not be allowed to deteriorate to a tattered, torn, or faded condition.
- D. No sign shall be disfigured, have cracked/ripped/peeling paint, bent/broken facing, broken supports, loose appendages/struts for more than 30 days. Severely damaged or destroyed signs must be restored or removed within 60 days. Damaged illuminated signs must be turned off until such time the repair is made within the 30-day required time frame.

11.101.8 Removal of Landscape Materials

Trees, shrubs, non-weed/rubbish type, or other vegetation shall not be trimmed, damaged, destroyed, or removed to increase or enhance the visibility of signs in the following circumstances:

- A. Within public right-of-way, unless the work is done pursuant to the express written authorization of the City or State, whichever is appropriate;
- B. On property that is not under the ownership of or control of the person conducting or responsible for the work, unless the work is done pursuant to the express authorization of the person owning the property on which the trees or shrubs are located; or
- C. In any area where trees, shrubs, or other landscape are required to remain pursuant to this Ordinance.

11.101.9 Prohibited Signs

The following signs are prohibited:

- A. Abandoned, dilapidated, or obsolete.
- B. Animated signs, including attention attracting devices that emit sound, odor, visible matter (smoke/steam), sign spinners/holders/walkers, inflatable or similar balloon-type devices, or the use of live animals.
- C. Any other sign not expressly permitted by this Ordinance, the Municipal code, and all applicable building codes.
- D. Banners, Beacons, pennants, and streamers.
- E. Bench signs with advertisements. Memorial markers and non-profit bench signs are allowed.
- F. Billboards.
- G. Freestanding canopy signs, except as permitted in gas stations.
- H. Government imitation signs.
- I. Home occupation signs; In accordance with Art. III, Sec. 3-105.8.b, Accessory Uses, Home occupations.
- J. LED electronic message centers or display screen signs.
- K. Moving signs of any type.
- L. Neon, except as provided in Section 11.116

11.101.9 Prohibited Signs (Cont.)

- M. Noisy mechanical devices.
- N. Blade banners, feather flags, swoop flags, tear drop flags, vertical or other temporary commercial flags.
- O. Obscene signs, such as those that exhibit statements, words, or pictures of an obscene nature, as defined by the US Supreme court.
- P. Off-site signs, including but not limited to Auction, real estate, garage sale, commercial businesses, etc.
- Q. Permanent commercial signs for residentially occupied dwellings, except temporary signs as permitted by Section 11.117, 11.118 or 11.119.
- R. Roof signs, including signs painted on roofs or that extend above the lowest point of a roof.
- S. Searchlights or spotlights.
- T. Signs on natural features such as trees, other living vegetation, and rocks.
- U. Signs projected onto surfaces utilizing light.
- V. Signs in public right-of-way, utility easements, utility poles, and/or not erected by or on behalf of a governmental/utility body.
- W. String lights attached to or part of a sign, or within a window or door.
- X. Trash receptacles, except for providing the name and contact information of the waste company who owns the receptacle.
- Y. Trailer signs.
- Z. Vehicle signs are only allowed if wrapped or painted and may not be parked off-site for the sole purpose of advertising.

11.101.10 Sign Area Computation

- A. The sign area shall be the computed area of the background upon which lettering, insignia, or other devices are placed.
- B. Where the sign area is on the face of a building, the area of the sign shall be determined by the smallest geometric shape that encloses all borders, graphics, and letters as a complete sign.
- C. The supporting structures shall not be included in the area computation unless utilized as part of the total display area, such as the background.

11.101.12 Nonconforming Signs

The following shall apply to legally permitted signs or sign structures that met all applicable regulations in effect at the time of installation, but were made nonconforming prior to or as of the effective date of this Ordinance:

- A. Minor repairs and maintenance may be performed on a nonconforming sign or sign structure, such as printing, painting, refacing or refinishing the surface so as to maintain the condition of the sign.
- B. No sign shall be disfigured, cracked/ripped/peeling paint, bent/broken facing, broken supports, or have loose appendages/struts for more than 30 days without repair or the sign shall be removed.
- C. No illuminated damaged/destroyed sign shall remain illuminated while awaiting repair or removal. All illuminated signage shall be turned off until such time the sign is repaired/replaced.
- D. Signs shall be brought into compliance with this ordinance when:
 - 1. A sign is changed, so as to increase the extent of the non-conformity, except as permitted in 11.101.7, Maintenance guidelines.
 - 2. Decorative signs, such as holiday, special event, church or park directional, etc., which are seasonal/temporary in nature which are removed and later replaced/reposted.

11.101.13 Exempt and Exception Signs

- 1. Federal, State, Municipal Local signs as regulated are exempt
- 2. Traffic control signals.
- 3. Sign Internal to the building, 3 feet or more away from the window and door.
- 4. Non-commercial flags in residential zones with freestanding flag poles.
- 5. Decals, numbers, names, addresses and hours that are 2 square feet or less.
- 6. Time and temperature signage with no commercial advertisement.

11.101.14 Waivers and Variances

The Regional Planning Commission shall have the authority to approve increases in sign area for Commercial and Industrial buildings as prescribed in 1-3 below, as no individual sign shall exceed 300 square feet.

1. Wall signs for Commercial or Industrial buildings that have a wall dimension greater than 300 lineal feet and a minimum gross floor area of 100,000 square feet.
2. Wall Signs for buildings in commercial zoning districts other than CNS, with (5) five or more stories.
3. In making their decision, the Regional Planning Commission shall approve additional signage area under this section when it has been determined that the requested signage is in proportion and scale to the size of the building façade to which it is to be installed.

11.101.15 Regulatory Enforcement

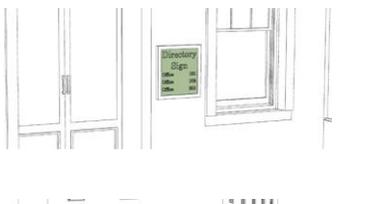
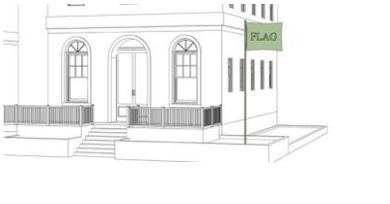
The sign administrator and/or their designees are hereby authorized and directed to enforce all of the provisions of this article. This authority empowers such individuals to perform any necessary inspections, including entering upon private property, and to issue related citations for the enforcement of this article.

1. Violation notice. The sign administrator or his designee shall order the removal of any sign erected or maintained in violation of this article, providing ten days' written notice to the owner of the premises upon which the offending sign is located to achieve compliance with provisions of this article. If, after ten days, the property owner has failed to achieve compliance with this article, a citation to municipal court shall be issued. However, when good faith efforts to bring a sign into compliance have begun within ten days of notice of violation, the sign administrator may extend the time period for compliance with this article to a period not to exceed 30 days.
2. Impoundment/disposal of signs. The sign administrator, the municipal codes officer and their designees shall have the authority to remove without notice any illegal sign on public property or a public right-of-way, or any illegal sign attached to trees, fences, posts, utility poles or other natural features. Such signs shall be considered litter and shall be subject to disposal.
3. The sign administrator, the municipal codes officer and their designees shall have the authority and discretion to remove, without prior notice, any sign on public or private property which, due to its physical condition and/or location, constitutes an immediate threat to the safety of citizens or other passersby. Notice shall, however, be provided to the landowner within ten days of removal of a permanent sign on private property.
4. Each day that a violation of this ordinance remains shall constitute a separate violation of this ordinance for purposes of the Court's assessment of fines or penalties.
5. In addition to other remedies here in under, the City shall have the right to recover from the owner or person placing such a sign the full costs of removal and disposal of such sign.

(Code 1997, § 11-107; Ord. No. 2008-59, 11-107, 9-22-2008; Ord. of 10-23-2009, § 11-107)

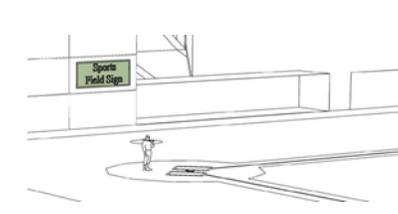
11.102 Overview of Sign Types

The following sign types are permitted in the following districts. Each sign shall comply with all standards and tables in the corresponding sign type.

Sign Type Description	Illustration	Permitted District
<p>Awning Sign: A sign that is part of or attached to the front face of an awning attached to a building.</p>		<p>All Commercial & Industrial</p>
<p>Band Sign: A sign that is flat against the façade and placed directly above a ground floor main entrance of a retail storefront/ tenant space and runs horizontally.</p>		<p>All Commercial & Industrial</p>
<p>Canopy Sign: A sign that is attached to the front face of a canopy attached to a building.</p>		<p>All Commercial & Industrial</p>
<p>Convenience Sign: A small, ground mounted sign for pedestrian and vehicular circulation within a site.</p>		<p>All Commercial & Industrial</p>
<p>Development Entrance Sign: A ground mounted sign located at the entrance to a development, typically associated with residential subdivisions.</p>		<p>Commercial & Residential</p>
<p>Directory Sign: A small sign that is flat against the building façade and mounted or applied directly to the building for informational or directional purposes only. Not to be utilized for advertisement.</p>		<p>All Commercial & Industrial</p>
<p>Flag: A piece of cloth, typically rectangular, attached by one edge to a pole.</p>		<p>All Commercial & Industrial</p>

11.102 Overview of Sign Types (Cont.)

The following sign types are permitted in the following districts. Each sign shall comply with all standards and tables in the corresponding sign type.

Sign Type Description	Illustration	Permitted District
<p>Monument Sign : A ground mounted sign that is placed upon or supported by the ground and independent of any other structure.</p>		<p>All Commercial & Industrial</p>
<p>Sandwich Board Sign : A pair of advertisement boards (sometimes referred to as A-frame), connected at the top by straps or hinge designed to be placed on the sidewalk in front of the retail storefront/tenant space</p>		<p>All Commercial & Industrial</p>
<p>Small Hanging/Projecting Sign: A small sign that either hangs from beams, brackets, or poles or that projects from poles or brackets from the building.</p>		<p>All Commercial & Industrial</p>
<p>Sports Field/Sports Court: A sign that is attached to a sports field or court fence.</p>		<p>All Districts</p>
<p>Vertical Blade Sign: A vertically-oriented sign that projects from a commercial/mixed-use building that is two or more stories and fronts a street intersection.</p>		<p>All Commercial & Industrial</p>
<p>Wall Sign: A sign that is flat against the building facade and mounted or applied directly to the building.</p>		<p>All Commercial & Industrial</p>
<p>Window Sign: A sign placed within, affixed to, in contact with, or located within 12 inches of a window and intended to be seen from the exterior.</p>		<p>All Commercial & Industrial</p>

11.102 Overview of Sign Types (Cont.)

The following sign types are permitted in the following districts. Each sign shall comply with all standards and tables in the corresponding sign type.

Temporary Construction Site/Leasing Sign: A sign on an active construction site intended for temporary use during the construction period. *Permitted in all districts with no off-site signage allowed.*

Temporary Non-commercial Sign: A sign permitted for all non-commercial activities to include campaign/election signage. *Permitted in all districts with permission of property owner.*

Temporary Commercial Sign: A sign intended for temporary use for commercial and industrial activities other than temporary construction site/leasing signs and temporary non-commercial activities. *Permitted in all commercial and industrial districts with no off-site signage allowed.*

11.103 Awning Sign



Description

A sign that is part of or attached to the valance or face of an awning attached to a ground floor retail storefront/tenant space.

Standards

Permitted Districts All Commercial & Industrial

Quantity Maximum of one per main entrance per storefront on the ground floor.

Sign Area Multiply the linear length of the awning front fascia, by 1.0 to obtain the maximum square footage.

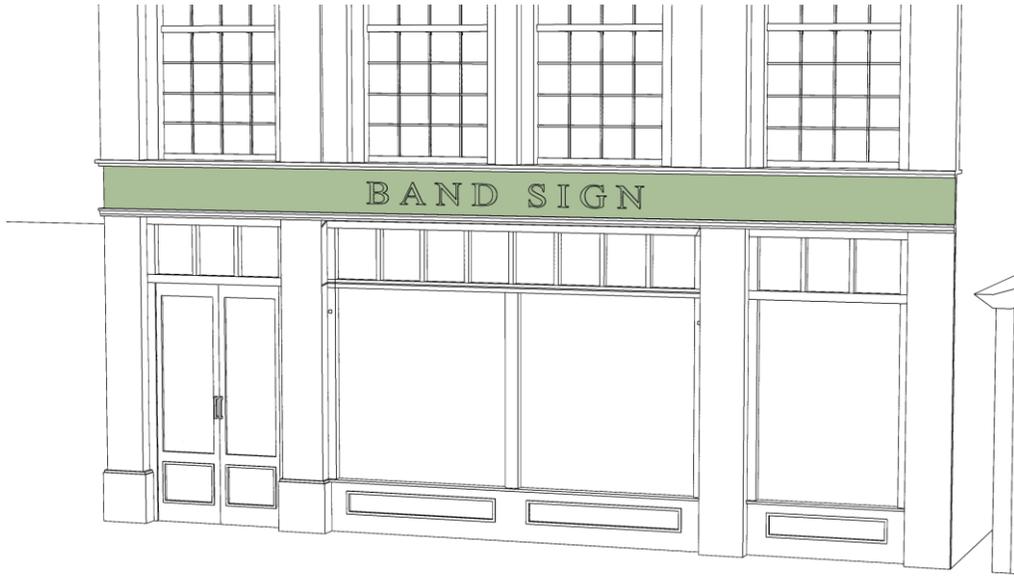
Placement Either of the awning valance or on the awning face.

Height Maximum height of the awning from ground level is 16 feet. Minimum height is 8 feet.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4.

Lighting External Illumination only.

11.104 Band Sign



Description

A sign that is flat against the façade and placed directly above a ground floor main entrance of a retail storefront/tenant space and runs horizontally.

Standards

Permitted Districts All Commercial & Industrial.

Quantity Maximum of one per main entrance per retail storefront/tenant space on the ground floor, if no awning, canopy or wall sign is present. Buildings with six stories or more may have band signs as described above, in addition to permitted wall signs.

Sign Area Maximum of 1.0 square feet per linear foot of retail storefront/tenant space façade.

Placement Applied to the ground floor façade and not project above the roof line. Vertically aligned with the center of an architectural element such as a retail storefront/tenant space window or entrance or centered above the overall space as occupied.

Projection Maximum of one foot from the building façade.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved in section 11.101.4.

Lighting External or internal illumination.

11.105 Canopy Sign



Description

A sign that is attached to the front face of a canopy attached to a building.

Standards

Permitted Districts All Commercial & Industrial.

Quantity Maximum of one sign per canopy per building façade and may be used only if no wall, band, or awning sign exists on the building façade.

Sign Area Maximum of 1.0 square feet per linear foot of retail storefront/tenant space façade.

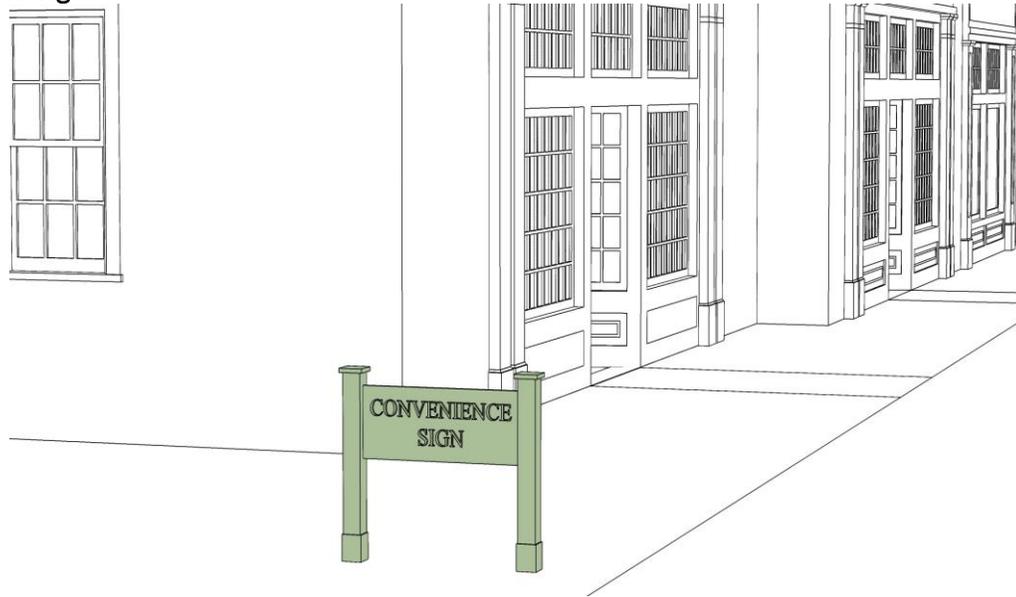
Placement Shall not project above or below the canopy or be located above the building roofline at the lowest point.

Projection Maximum of six inches from the canopy face.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved in section 11.101.4.

Lighting External illumination only.

11.106 Convenience Sign



Description

A small, ground mounted sign for pedestrian and vehicular circulation within a site.

Standards

Permitted Districts

All Commercial and Industrial.

Quantity

Maximum of one per entrance and one per exit, which may be dual faced. Limited additional signs may be approved when they are not visible from the right of way, such as pick-up or online ordering, etc. The City reserves the right to dictate the location of convenience signs and designated parking spaces. Additional convenience signs that may designate parking spaces may not be used towards the overall required space count, such as approved parking spaces as reflected on an approved site plan. Parking spaces for accessible parking codes.

Sign Area

May have up to two sides (dual faced). No side shall exceed 4 square feet per side.

Placement

Minimum setback at the property line, outside of the Right-of-Way (ROW), and any public utility drainage easement (PUDE), with a minimum of 10 feet from the edge of the street or curb. Shall not inhibit line of sight distance for motorists.

Height

Maximum mounting height of six feet to the top edge of the sign.

Materials

Brick, stone, metal, composite or other outdoor rated materials as approved In section 11.101.4.

Lighting

External Illumination only.

11.107 Development Entrance Sign



Description

A ground mounted (monument style) sign located at the entrance to a development, typically associated with subdivisions.

Standards (Continued)

Permitted Districts Residential Only.

Quantity Maximum of two per entrance to the development.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4. Signs must be constructed within the entrance walls.

Sign Area May have up to two sides (dual faced) with a maximum of (50) fifty square feet per side.
Monument/Entrance walls shall not exceed (10) ten feet in height.

Placement Minimum setback at the property line, outside of the Right-of- Way (ROW), and any public utility drainage easement (PUDE), with a minimum of 10 feet from the edge of the street or curb. Shall not inhibit line of sight distance for motorists.

Projection At the top of the sign face area, measured at the centerline of the adjacent right-of-way.

Lighting External illumination only. Must include landscape in the form of trees, shrubs, and groundcover. Walls and the landscape shall be maintained by the HOA if one exists. If no HOA exists, then the developer of the property shall designate a person or entity to maintain the sign.

11.108 Directory Sign



Description

A small sign that is flat against the building façade and mounted or applied directly to the building for informational or directional purposes only. Not to be utilized for advertisement.

Standards

Permitted Districts All Commercial & Industrial.

Sign Area Maximum of (4) four square feet per building façade, in addition to the other permitted signage on the building.

Projection Maximum of (6) six inches from the building façade.

Height Maximum of (6) six feet at the top of the sign area.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4.

Lighting External illumination only.

11.109 Flag



Description

A piece of cloth, typically rectangular attached by one edge to a pole and must be permanent in nature.

Standards

Permitted Districts All Commercial & Industrial.

Quantity Maximum of (3) three per lot. Maximum width of the flag shall not exceed (1/4) one-fourth the

Sign Area Maximum width of the flag shall not exceed (1/4) one-fourth the height of the pole (e.g. 40-foot pole = maximum width of 10 feet). No more than (2) two flags per pole, with the lower flag not to exceed the overall size of the top flag.

Placement No flag may contain a commercial (advertisement) message. Minimum setback at the property line. The flag shall be located outside of any Right of Way or Public Utility Drainage easement unless approved by the City Manager.

Pole Height Maximum of (40) forty or (20) twenty feet for rooftop poles.

Materials Bunting or fabric.

Lighting External illumination only.

11.110 Monument Sign



Description

A ground mounted sign that is placed upon or supported by the ground and independent of any other structure.

Standards

Permitted Districts All Commercial & Industrial

Quantity

Maximum of two per street frontage, and must be placed a minimum of 300 feet from the closest point of each sign. Max of four signs per lot.

Sign Area

May have up to (2) two sides with a maximum of (50) fifty square feet per side. The maximum height shall not exceed (10) ten feet in all zoning classifications, except CI, and CMU where the maximum height is (15) fifteen feet. The overall sign structure shall not exceed 100 square feet.

Placement

Minimum setback at the property line, outside of all Right-of-Way and any Public Utility Drainage easements. Signage cannot block pedestrian or motorist line of sight.

Materials

Brick, stone, metal, composite or other outdoor rated materials as approved in section 11.101.4. The sign must contain a minimum base of (12) twelve inches, which shall be surrounded by brick, natural or cultured stone or concrete frame.

Lighting

External or internal illumination only.

Additional Standards No new pylon signs will be allowed.

11.111 Sandwich Board (A-frame) Sign



Description

A pair of advertisement boards connected at the top by straps or hinge designed to be placed on the sidewalk in front of the retail storefront/tenant space.

Standards

Permitted Districts All Commercial & Industrial

Quantity Maximum of one per ground floor retail storefront/tenant space, not to exceed (3) three signs per building (for multiple tenants). For buildings with single tenant only one sign is allowed.

Sign area May have up to (2) two sides (dual faced) with a maximum of (6) six square feet per side.

Placement On the sidewalk in front of the retail storefront/tenant space and shall maintain (48) forty-eight inches of sidewalk clearance for pedestrian circulation and shall adhere to all ADA regulations.

Height Maximum of (4) four feet at the top of the sign area.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4.

Lighting No external or internal illumination.

11.112 Small Hanging/Projecting Sign



Description

A small sign that either hangs from beams, brackets, or poles or that projects from poles or brackets from the building.

Standards

Permitted Districts All Commercial and Industrial

Quantity Maximum of one per building main entrance, in lieu of a wall sign. One hanging/projecting sign is allowed per individual business principal entrance, in lieu of an awning, canopy or wall sign for retail centers with multiple tenants.

Sign Area May have up to (2) two sides, with a maximum of (4) four square feet per side.

Projection Projects from the building façade at a 90-degree or at a 45 degree angle when placed at a corner of a building. Maximum of (3) three feet from the building façade, inclusive of the bracket depth.

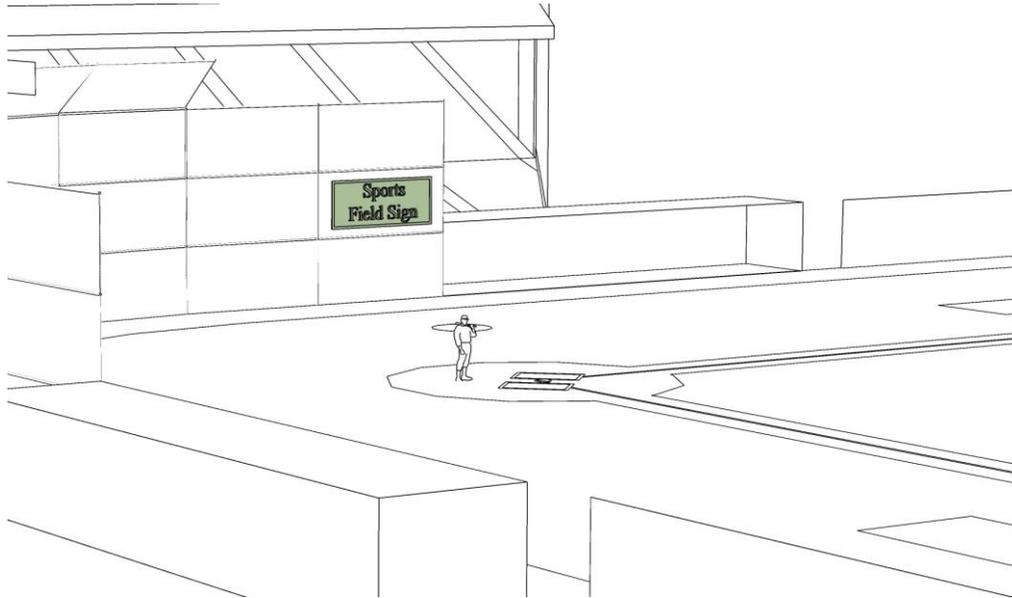
Placement Minimum clearance of (8) eight feet from the grade surface (Generally defined as the sidewalk or the floor in front of the space).

Height Maximum height shall be the roofline or window sill of the second story, whichever is less. The minimum height at the bottom of the sign is (8) eight feet.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4.

Lighting External illumination only.

11.113 Sports Field/Sports Court Sign



Description

A sign that is attached to a sports field or sports court fence.

Standards

Permitted Districts	All districts
Quantity	N/A
Placement	Shall face into the sports field or sports court.
Sign Area/Height	No sign shall exceed 32 square feet. And the sign shall not be higher than the top of the fence to which it is attached.
Materials	Brick, stone, metal, composite or other outdoor rated materials as approved In section 11.101.4.
Color	The backs of all signs shall be the same color.
Lighting	External illumination only.
Additional standards	Scoreboards are exempt from this Chapter, but shall have ever-green screening at the base of the support structure when visible from an arterial or collector street. Wilson County Schools and all athletic fields and courts, are under the jurisdiction of Wilson County and the school district. All City of Mt. Juliet Parks facilities are under the jurisdiction of the City of Mt. Juliet and the Parks Director.

11.114 Vertical Blade Sign



Description

A vertically oriented sign that projects from a commercial/mixed-use building that is two or more stories and front a Street intersection.

Standards

Permitted Districts All Commercial & Industrial.

Quantity Maximum of one per building frontage on a street intersection and may be used only if no other awning, canopy, wall or hanging signs exist on the ground floor retail storefront/tenant space below.

Sign Area Maximum of (20) twenty square feet or one square foot per linear foot of building façade for which the fascia sign is to be placed upon, whichever is less.

Placement At the corner of the building or at the change in massing near the corner of the building. Shall not project below the window header of the first floor. Shall not project above the cornice of a two-story building or above the window sills of the third story of a building with more than two stories.

Projection Projects from the building façade at a 90-degree angle or at a 45-degree angle when placed at a corner of a building. Maximum of (3) three feet from the building façade, inclusive of bracket depth. Brackets connecting the sign to the building façade shall be a minimum depth of (1) one foot and a maximum of (1.5) one and a half feet.

Materials Metal with a minimum thickness of one-half inch and a maximum thickness of (1) one foot.

Lighting External or internal illumination

11.115 Wall sign



Description

A sign that is flat against the building façade and mounted or applied directly to the building.

Standards

Permitted Districts All Commercial and Industrial

Quantity Maximum of (4) four per business. Wall sign allowed only if no awning, band, canopy or hanging sign exists on the building.
Buildings (5) five stories or more may have wall signs as described above, in addition to permitted band signs.

Sign Area Maximum of (1) one square foot per linear foot of building façade, with no single sign exceeding 300 square feet.

Placement Maximum height shall be the main roofline of the uppermost full story. Signs are not allowed to be placed upon any parapet or similar type walls above the main roofline.

Projection Maximum of (6) six inches from the building façade.

Materials Brick, stone, metal, composite material or other outdoor rated materials.

Lighting External or Internal Illumination.

11.116 Window Sign



Description

A sign placed within, affixed to, in contact with, or located within 12 inches of glazing and visible from the exterior.

Standards

Permitted Districts All Commercial & Industrial

Sign Area Maximum of 15 percent of an individual window area, but shall not exceed 4 window signs. In cases where windows are grouped, the sign area shall not exceed 15 percent of the window grouping area.

Placement Fully within the interior of the building and attached directly to or mounted within 12 inches of the inside of the business.

Materials Metal, paper, cloth or other related materials as approved In section 11.101.4. Window Perf or other visual blocking materials are strictly prohibited.

Lighting Retail businesses may have one Interior LED or lighted sign stating open/closed or hours of operation by permit only, and shall comply with all other standards in this section. All other illuminated window signs including Neon, LED, lighted, including rope and string lights are prohibited.

11.117 Drive-Thru Signs

Description

Commercial signage, both manual and/or static digital signs strictly for the intent to provide menu options for customers.

Standards

<i>Permitted Districts</i>	All Districts where Drive-thru restaurants are allowed.
<i>Quantity</i>	Maximum of (1) one standard menu board and (1) pre-sell menu board per drive-thru lane. Curbside service style restaurants may have one menu board per bay/stall.
<i>Sign Area</i>	Standard menu board may have a maximum sign face not to exceed (40) forty square feet. Pre-sell menu board may have a maximum sign face not to exceed (20) twenty square feet. Curbside service menu board may have a maximum sign face not to exceed (6) six square feet.
<i>Placement</i>	Signage must be outside of the lane of travel and within a pre-determined area according to all site plan approvals. Pre-existing restaurants must have all placements approved prior to issuance of any permits.
<i>Materials</i>	Brick, stone, metal, composite or other outdoor rates materials as approved.
<i>Height</i>	Maximum height for all drive-thru, pre-sell and curbside boards shall not exceed (6) six feet.
<i>Lighting</i>	Illumination requirements are provided in section 11.105 and 11.106.
<i>Requirements</i>	All digital signage must remain static at all times, except if an immediate change is required to update the menus from one time frame to another, such as breakfast to lunch or supper. Signs must be turned off at close of business, and may not be turned back on until such time the business re-opens.

11.118 Temporary Construction Site / Leasing Sign

Description

A sign on an active construction site intended for temporary use during the construction/leasing period.

Standards

Permitted Districts All Districts

Quantity Maximum of (3) three signs per construction site under (5) five acres and maximum of (4) four signs for sites in excess of (6) acres or more.

Sign Area May have up to (2) two sides, with a maximum of (40) forty square feet per side. Signs may include and limited to the developer, architect, engineer, general contractor and finance company in addition to the name of the project, business or development or any combination of thereof.

Placement Minimum setback at the property line and outside of the Right-of Way and any Public Utility Drainage easement. Signs on major thoroughfares are limited to no more than (2) signs. All signs must be placed a minimum of 300 feet apart.

Materials Brick, stone, metal, composite or other outdoor rated materials as approved In section 11.101.4.

Height Maximum of (8) feet from ground level.

Lighting Illumination is prohibited.

Duration Signs associated with nonresidential and mixed use development shall be removed upon issuance of the certificate of occupancy or no later than (5) days following the issuance of the Certificate of Occupancy.
Signs associated with residential development including multi-family leasing signs shall be removed after 75% build out or (3) three years, whichever occurs first.

Requirements All freestanding signs must remain upright and intact. Any damaged signs must be removed immediately or are subject to removal and disposal. Off site placement is prohibited for any and all temporary signs.

11.119 Temporary Non-commercial Signs

Description

A sign intended for temporary use other than temporary construction site or commercial signs. Temporary Non Commercial signs (election/campaign signs included) are allowed in addition to all other permitted signs, and a Sign permit is not required.

*Election/Campaign signs are regulated by T.C.A. 2-7-143.

Standards

Permitted Districts All Districts.

Quantity (1) one sign per candidate/issue/subject with no duplicate signs allowed.

Sign Area The signs are limited to (16) sixteen square feet per sign face for residentially zoned properties and a maximum of (32) thirty-two square feet per sign face for non-residentially zoned properties.

Placement Signs are allowed on private property with the permission of the property owner and must be placed outside of the right-of-way and withing the required setbacks as noted below. All temporary signs shall be located at least ten (10) feet back from the street curb, edge of pavement or stabilized shoulder and two (2) feet from the edge of the public right-of-way or private roadway, whichever is greater, unless a greater distance is required to remove such sign from the sight distance triangle or otherwise specified within these provisions.

Material Brick, stone, metal, composite or other outdoor rated materials as approved In section 11.101.4.

Only rigid type signs within a frame of approved materials, will be allowed to be free-standing. All temporary banners are required to be affixed to the building.

Lighting Illumination is prohibited.

Requirements All freestanding signs must remain upright and intact. Any damaged signs must be removed immediately or are subject to removal and disposal. All garage sale, must be on-site only. Garage sale signs are allowed to be placed on Thursdays and must be removed by Sunday. Special and/or temporary event signage is only allowed one week prior to the event and must be removed no later than the day following the cessation of the event.

11.120 Temporary Commercial Signs

Description

A sign intended for temporary use other than temporary construction site or non-commercial signs.

Standards

Permitted Districts All Commercial and Industrial districts.

Quantity (1) one sign per lot, per permit. Single lots with multiple businesses are limited to no more than (1) one sign per business and the lot shall not exceed (3) three signs at any time. Only (4) permits per business per calendar year shall be issued, with each permit limited to (30) thirty consecutive days.

Sign Area The sign is limited to (20)n square feet per sign face, may be dual sided.

Placement Signs are allowed on private property with the permission of the property owner and must be placed outside of the right-of-way and withing the required setbacks as noted below. All temporary signs shall be located at least ten (10) feet back from the street curb, edge of pavement or stabilized shoulder and two (2) feet from the edge of the public right-of-way or private roadway, whichever is greater, unless a greater distance is required to remove such sign from the sight distance triangle or otherwise specified within these provisions. No temporary signs, except temporary signs posted on residentially zoned property with a residential use and not impeding visibility along a public thoroughfare, shall be permitted within a public right-of-way. Signs placed in the public right-of-way are subject to immediate removal.

Material Brick, stone, metal, composite or other outdoor rated materials as approved
In section 11.101.4.

Only rigid type signs within a frame of approved materials, will be allowed to be free-standing. Banners are prohibited.

Lighting Illumination is prohibited.

Requirements All freestanding signs must remain upright and intact. Any damaged signs must be removed immediately or are subject to removal and disposal. All real estate, auction and other commercial related signage, must be on-site only. Special and/or temporary event signage is only allowed one week prior to the event and must be removed no later than the day following the cessation of the event.
Off site placement is prohibited for any and all temporary signs.

